

PLANNING COMMITTEE ADDENDUM

2.00PM, WEDNESDAY, 12 JANUARY 2022

COUNCIL CHAMBER HOVE TOWN HALL

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ADDENDUM

ITEM		Page
D	BH2021/03117, 10 Roedean Crescent, Brighton - Full Planning - Presentation	1 - 24

10 Roedean Crescent

BH2021/03117

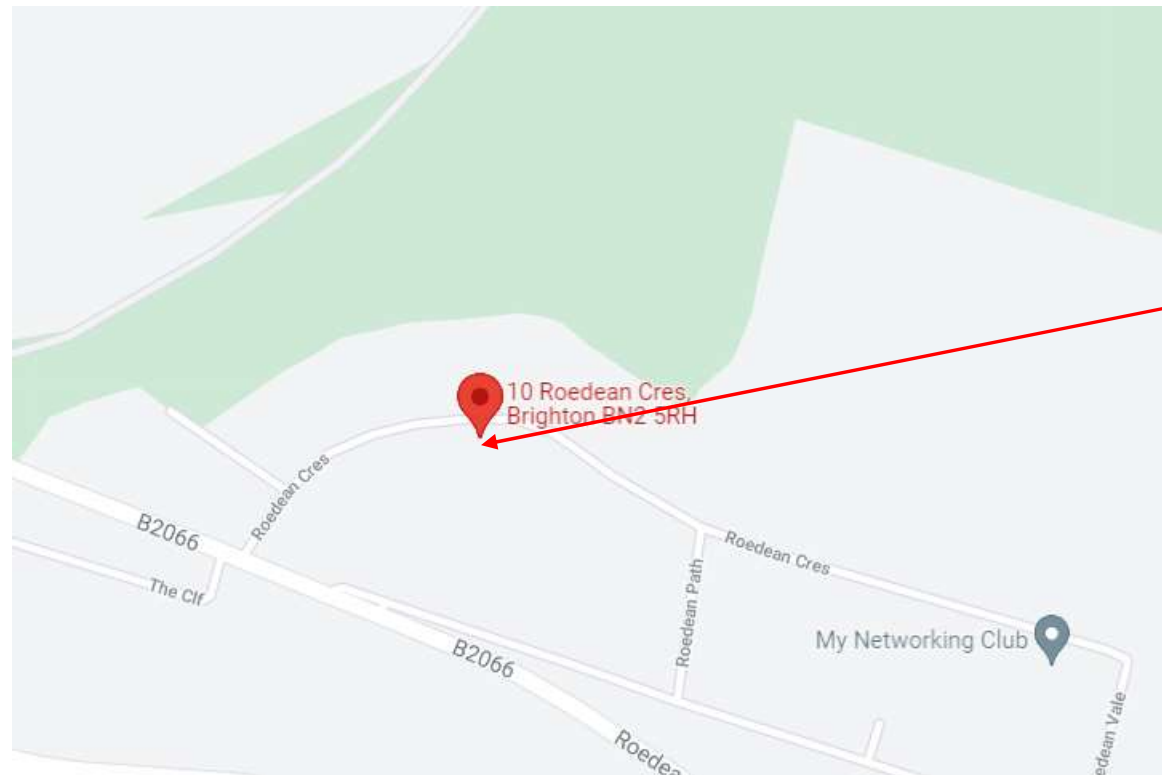


**Brighton & Hove
City Council**

Application Description

- Demolition of existing dwelling and erection of a five-bedroom house (C3) including excavation of lower ground floor, vehicle lift, landscaping and associated works.

Map of application site



Application Site



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Aerial Photo of Site – looking from the South



Application Site



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3D Aerial photo of site



Application Site



Street photo of site



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Photo of front elevation of the site



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Photo of front elevation of the site



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Relationship with No. 12



Relationship with No. 8



Photo of rear elevation of the site



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Existing Location Plan



Application Site



0m 10m 20m 30m 40m 50m

Existing site location plan

TA 1352 - 021221 - 01C



Proposed Block Plan



TA 1352 - 021221 - 01C

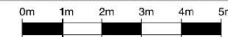


Proposed Front Elevation

Planning drawings taken from
application reference BH2021/02056



Proposed front / north elevation Scale 1:100@A3



14

TA 1352 - 221021 18B



Proposed Rear Elevation

Planning drawings taken from application reference BH2021/02056



Proposed rear / south elevation Scale 1:100@A3

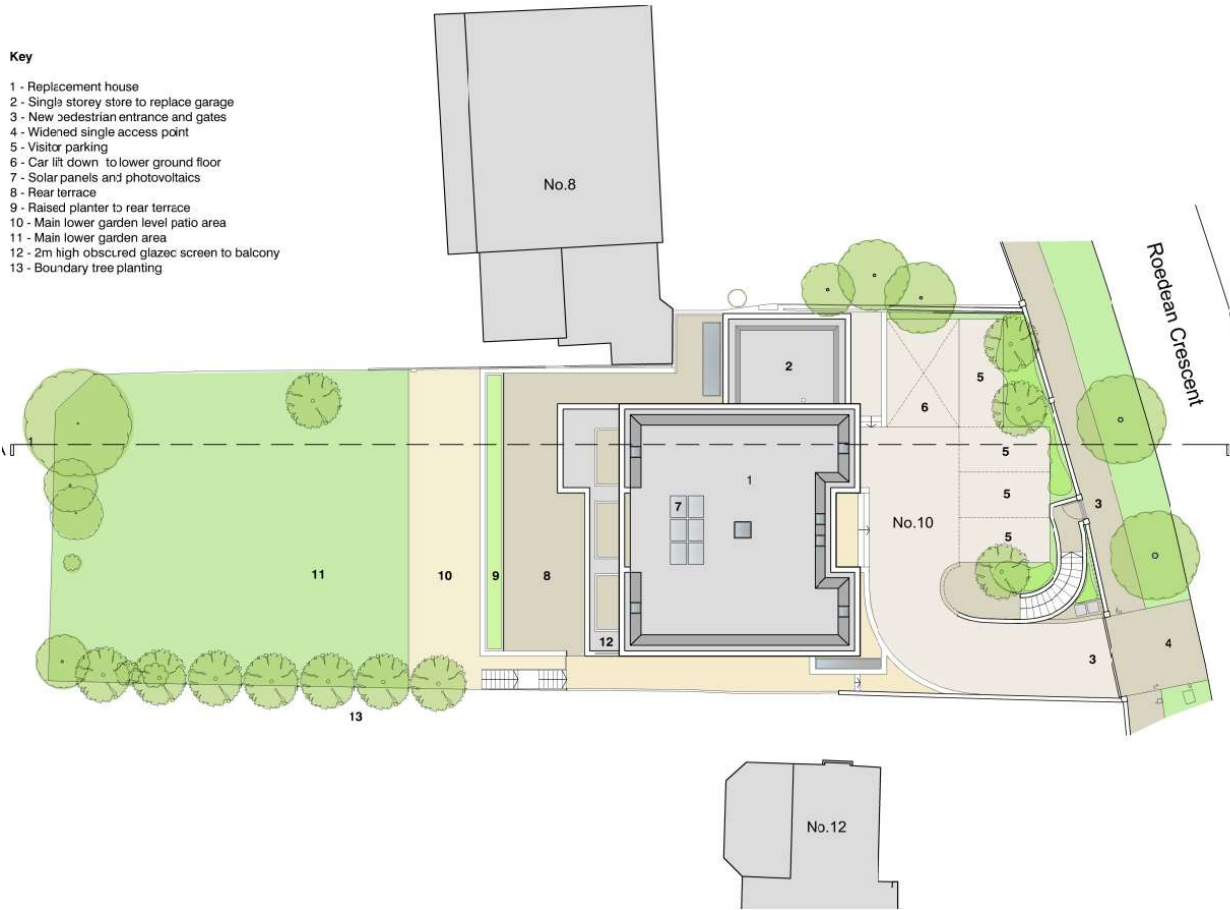
0m 1m 2m 3m 4m 5m

15

TA 1352 - 221021 20D



Proposed Site Plan



- Key**
- 1 - Replacement house
 - 2 - Single storey store to replace garage
 - 3 - New pedestrian entrance and gates
 - 4 - Widened single access point
 - 5 - Visitor parking
 - 6 - Car lift down to lower ground floor
 - 7 - Solar panels and photovoltaics
 - 8 - Rear terrace
 - 9 - Raised planter to rear terrace
 - 10 - Main lower garden level patio area
 - 11 - Main lower garden area
 - 12 - 2m high obscured glazed screen to balcony
 - 13 - Boundary tree planting

Planning issue

- E 021221 Landscaping changes
- D 221021 Minor amendments to steps
- C 041021 Landscaping changes
- B 280921 Obscured glazed screen added
- A 240921 Boundary planting added

rev.	date

These drawings should be approved by local Authority

No dimensions to be added from this drawing. All dimensions to be marked on site. The drawing is copyright and should not be reproduced without the permission of the architects.

client David and Lisa Brierley

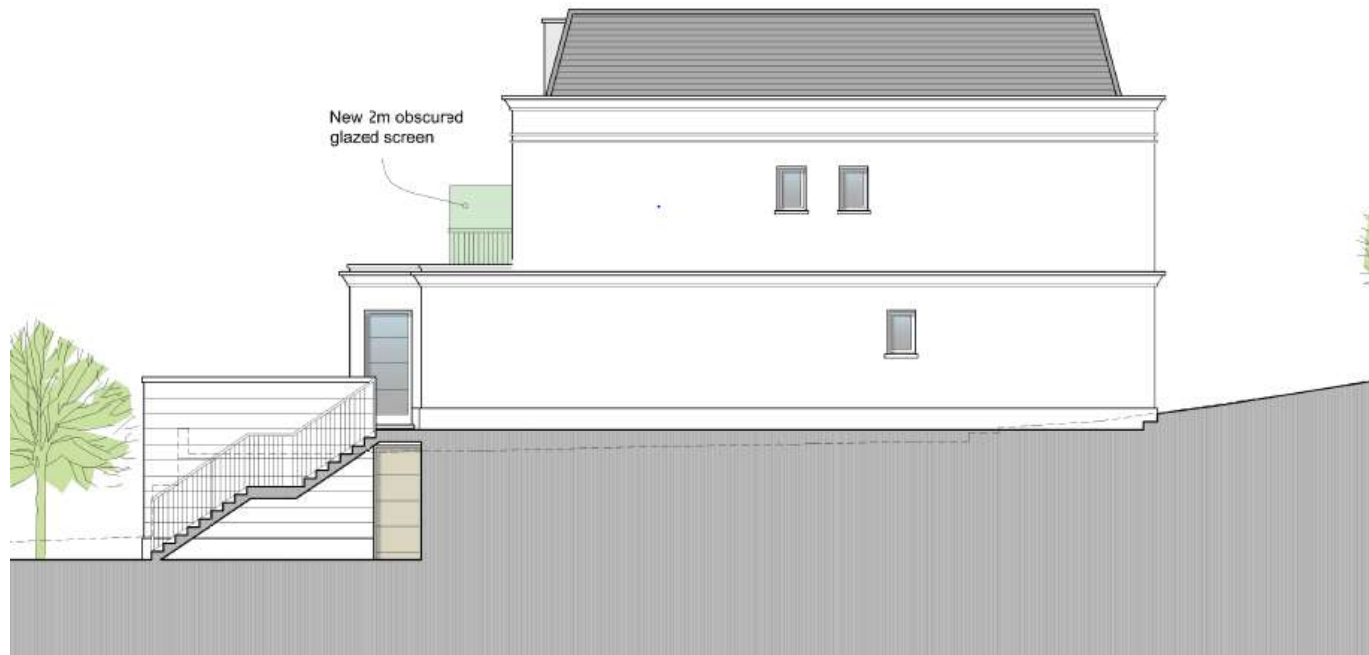
project 10 Roedean Crescent
Brighton

drawing Proposed site plan

scale Shown @ A3 date January 2020
drawn

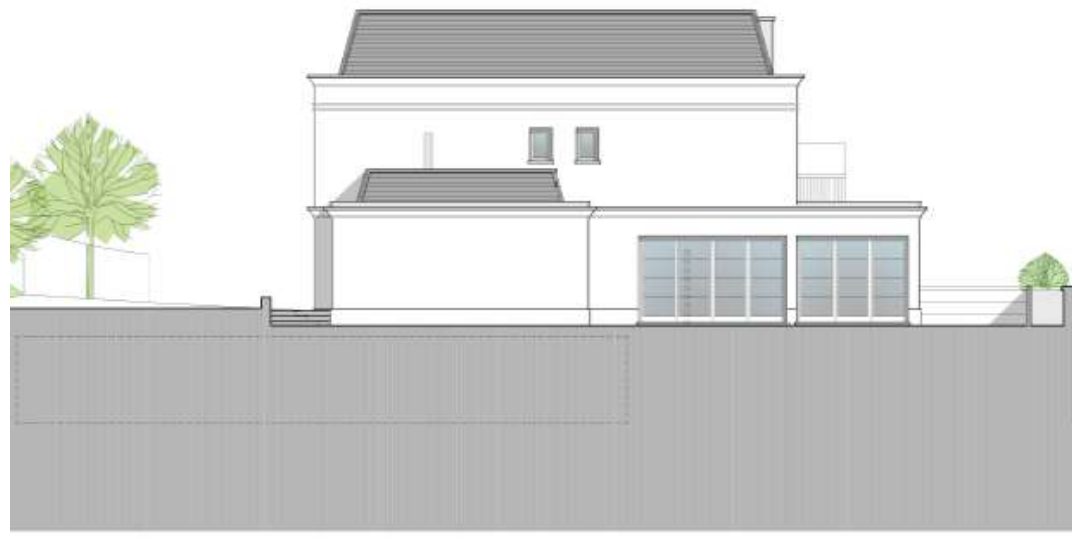


Proposed Side Elevation – looking from no.12 (to the east)

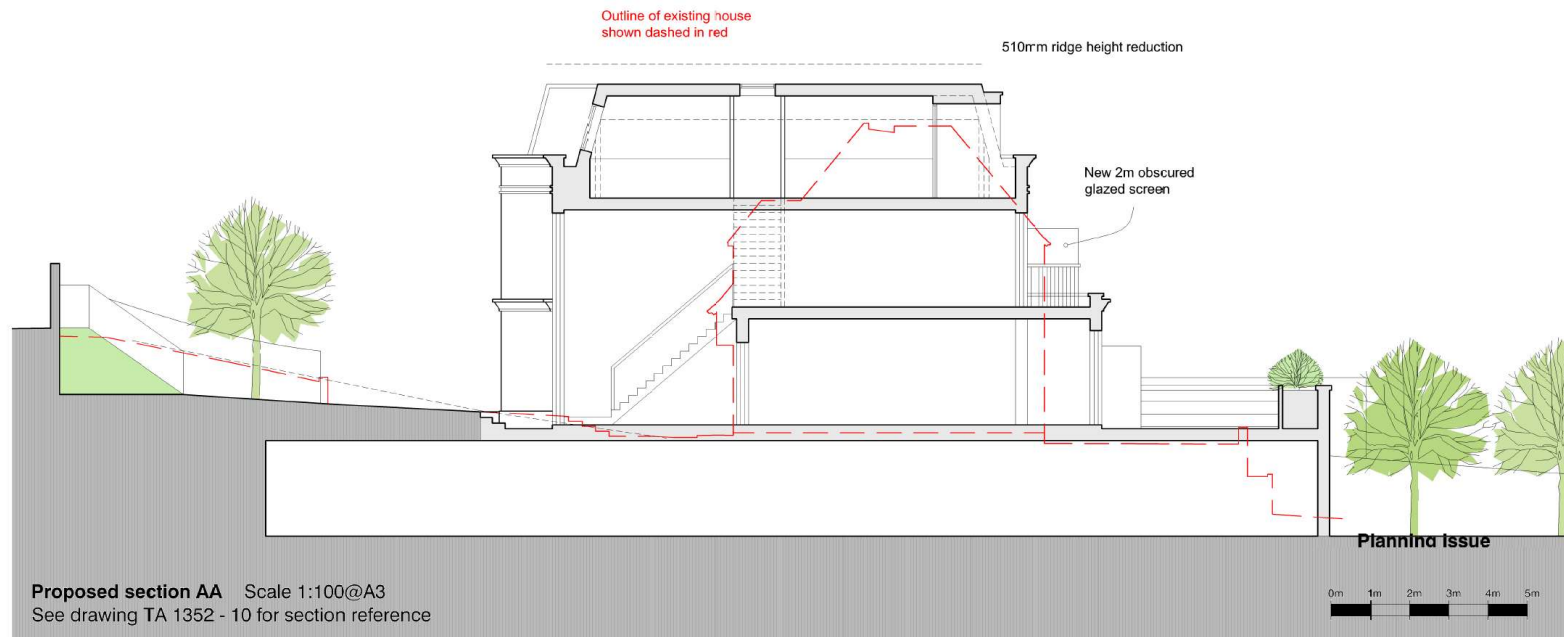


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Proposed Side elevation looking from no. 8 (to the west)



Proposed Site Section(s)



19

TA 1352 - 021221 - 22E



Contextual Front Elevation – incl. approved development at no. 6 & 12



Proposed street elevation Scale 1:200@A3



Proposed street elevation showing current application to no.12 and approval to no.6 Scale 1:200@A3

Contextual Rear Elevation - incl. approved development at no. 6 & 12



Proposed rear / south elevation Scale 1:200@A3



Proposed rear / south elevation showing current application to no.12 Scale 1:200@A3



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Key Considerations in the Application

- Principle of development
- Design and appearance
- Standard of accommodation
- Impact on neighbour amenity
- Transport



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Conclusion and Planning Balance

- Design and appearance considered acceptable
- Would provide an acceptable standard of accommodation
- No resulting harmful impacts on neighbouring amenity
- Acceptable in terms of impact on highway
- **Recommendation: Approve**

